

899 NORTH CAPITOL ST.
9-STORY CONCRETE
SQUARE 0675 LOT 853
AREA= 50,714.95 SQFT
FF=23.39'
BFF=9.72'

SQUARE 0675 LOT 854
AREA=39,895.55 SQFT

999 NORTH CAPITOL ST.
9-STORY CONCRETE
SQUARE 0675 LOT 853
AREA= 47,168.32 SQFT
FF=27.25'
BFF=15.76'

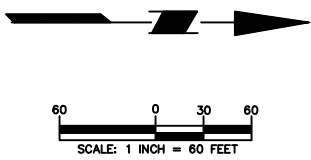
888 FIRST ST. N.E.
15-STORY CONCRETE

EXISTING CONDITIONS SURVEY NOTES:

- SEE C-02 FOR ADDITIONAL NOTES.
 - THE MERIDIAN OF THIS SURVEY IS REFERENCED TO THE D.C.S.O. MERIDIAN.
 - VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
 - STREET NAMES, RIGHT OF WAY WIDTHS, SQUARE AND LOT NUMBERS ARE SHOWN IN ACCORDANCE WITH THE INFORMATION OBTAINED FROM THE DC ATLAS WEBSITE.
 - PLANIMETRIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES DURING JANUARY 2020.
 - PER THE MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, DISTRICT OF COLUMBIA, PANEL 0019, MAP NUMBER 1100010019C, EFFECTIVE DATE SEPT 27, 2010 THE SUBJECT PROPERTY LIES WITHIN ZONE X, AN AREA OF MINIMAL FLOOD HAZARD.
 - UTILITY INFORMATION (STORM, SANITARY, WATER, GAS, ELECTRIC AND VAULTS) DATA SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS, UNLESS SPECIFICALLY NOTED HEREON THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS
- AS NOTED BELOW SUPPLEMENTAL DOCUMENTS WERE USED TO COMPILE THE SUBSURFACE UTILITY INFORMATION SHOWN HEREON
- DEPARTMENT OF PUBLIC WORKS DC COUNTER MAPS B-3-NW-S, B-3-NW-W, B-4-NW-S AND B-4-NW-W.
 - ALL UNDERGROUND LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. FOR MARKING OF UNDERGROUND UTILITY LINES. CALL MISS UTILITY AT 811 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
 - IN OTHER THAN RESIDENTIAL ZONES, AS DEFINED IN SUBTITLE A § 101.9, AND EXCEPT AS PERMITTED ELSEWHERE IN THIS SECTION AND THE REGULATIONS, THE BUILDING HEIGHT MEASURING POINT (BHMP) SHALL BE ESTABLISHED AT THE AT THE LEVEL OF THE CURB, OPPOSITE THE MIDDLE OF THE FRONT OF THE BUILDING, AND THE BUILDING HEIGHT SHALL BE THE VERTICAL DISTANCE MEASURED FROM THE BHMP TO THE HIGHEST POINT OF THE ROOF OR PARAPET OR A POINT DESIGNATED BY A SPECIFIC ZONE DISTRICT.

EXISTING CONDITIONS SURVEY LEGEND

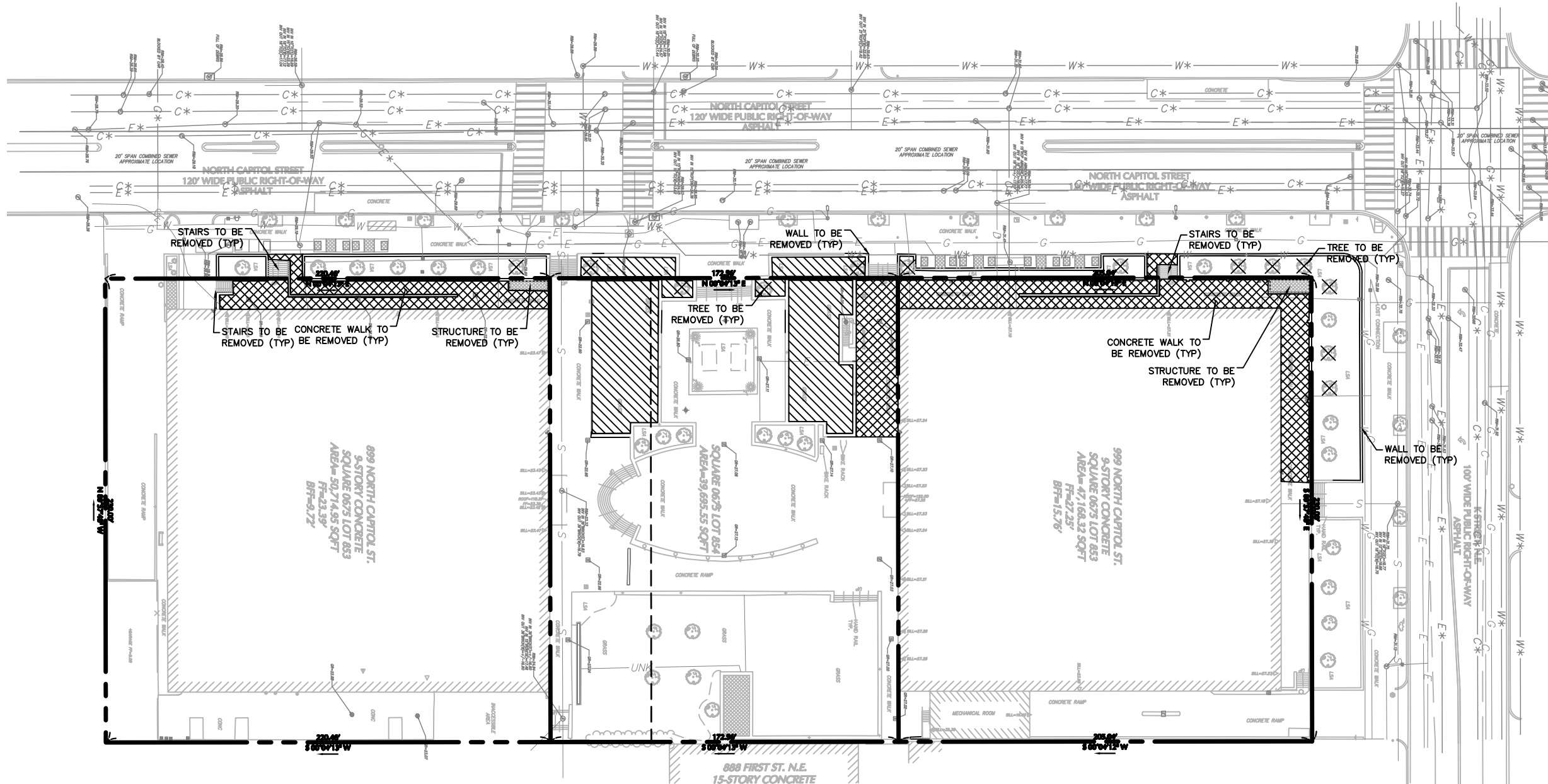
	PROPERTY LINE
	DOOR
	DOUBLE DOOR
	OBSERVATION WELL
	TEST PIT BOX
	PARKING METER SIGN
	TREE
	CATCH BASIN
	GAS METER
	GAS VALVE
	LIGHT POLE
	LIGHT POLE W/ ARM
	MANHOLE (TYPE AS LABELED)
	ROOF DRAIN
	TRAFFIC BOX
	TRAFFIC SIGNAL POLE
	UNDERGROUND VAULT
	STANDPIPE
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	CHAINLINK FENCE
	MARK OUT GAS LINE
	MARK OUT ELECTRIC LINE
	COMBINED SEWER LINE
	MARK OUT WATER LINE
	WATER LINE PER RECORD
	MARK OUT TELECOMM LINE
	STORM DRAIN LINE
	CONCRETE
	(BHMP) BUILDING HEIGHT MEASUREMENT POINT
	TEMPORARY SUPPORT BEAM
	BUILDING FOOTPRINT
	ADA RAMP



899 and 999 North Capitol Street, NE
PHASE 1
May 25th, 2021

<p>LANGAN Langan Engineering and Environmental Services, Inc. 1300 Wilson Boulevard, Suite 450 Arlington, VA 22209 T: 571.366.6800 F: 571.366.6801 www.langan.com</p>	Project	899 & 999 UNION SQUARE	Drawing Title	EXISTING CONDITIONS PLAN	Project No.	270098601	Drawing No.	<p>C-03</p>
		WASHINGTON DISTRICT OF COLUMBIA			Date	21 MAY 2021		
					Drawn By	AAO		
					Checked By			

District of Columbia
CASE NO.21-09
EXHIBIT NO.3F3

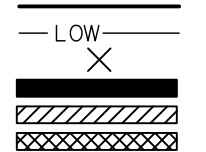


DEMOLITION PLAN NOTES:

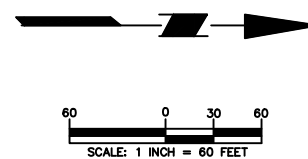
1. SEE C-02 FOR ADDITIONAL NOTES.
2. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON FIELD MEASUREMENTS AND VARIOUS RECORDS.
3. THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS AND ELEVATIONS.
4. THE CONTRACTOR SHALL CONSTRUCT ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY DC REQUIREMENTS AND DEPARTMENTS, INCLUDING BUT NOT LIMITED TO, PAVEMENT REPAIR, FENCING, PEDESTRIAN AND VEHICLE ACCESS, ETC.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY AND PROTECTIVE MEASURES, INCLUDING BUT NOT LIMITED TO SIGNS, LIGHTS, FENCES, BARRIERS, AND PEDESTRIAN AND TRAFFIC CONTROL MEASURES DURING DEMOLITION.
6. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS TO ACCOMMODATE WORK PERFORMED IN THE PUBLIC RIGHT OF WAY.
7. THE CONTRACTOR SHALL REMOVE AND PROPERLY BACKFILL ALL UNDERGROUND UTILITIES AND STORM DRAINS INDICATED TO BE DEMOLISHED ON THE PLAN. THE CONTRACTOR SHALL VERIFY THE UTILITY OR STORM DRAIN TO BE DEMOLISHED IS NO LONGER IN USE PRIOR TO DEMOLITION.
8. EXISTING FOUNDATIONS AND FOOTINGS ASSOCIATED WITH STRUCTURES AND SITE ELEMENTS TO BE DEMOLISHED, SUCH AS BUILDINGS, GATES AND FENCING, SHALL BE COMPLETELY REMOVED.
9. EXTENTS OF ASPHALT AND CONCRETE PATCHES AND SAND/GRAVEL AREA WITHIN SITE LIMITS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SUCH MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS OTHERWISE NOTED.
10. RECYCLED CONCRETE OR ASPHALT MAY NOT BE USED FOR FILL.
11. REMOVED UTILITIES, PIPES, SIDEWALKS, CURBS, AND ALL OTHER DEMOLITION DEBRIS THAT ARE TO BE REMOVED (NOT RELOCATED) SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH LOCAL AND FEDERAL REGULATIONS.
12. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UTILITIES AND ASSOCIATED STRUCTURES NOT MARKED FOR REMOVAL OR ABANDONMENT.

DEMOLITION PLAN LEGEND

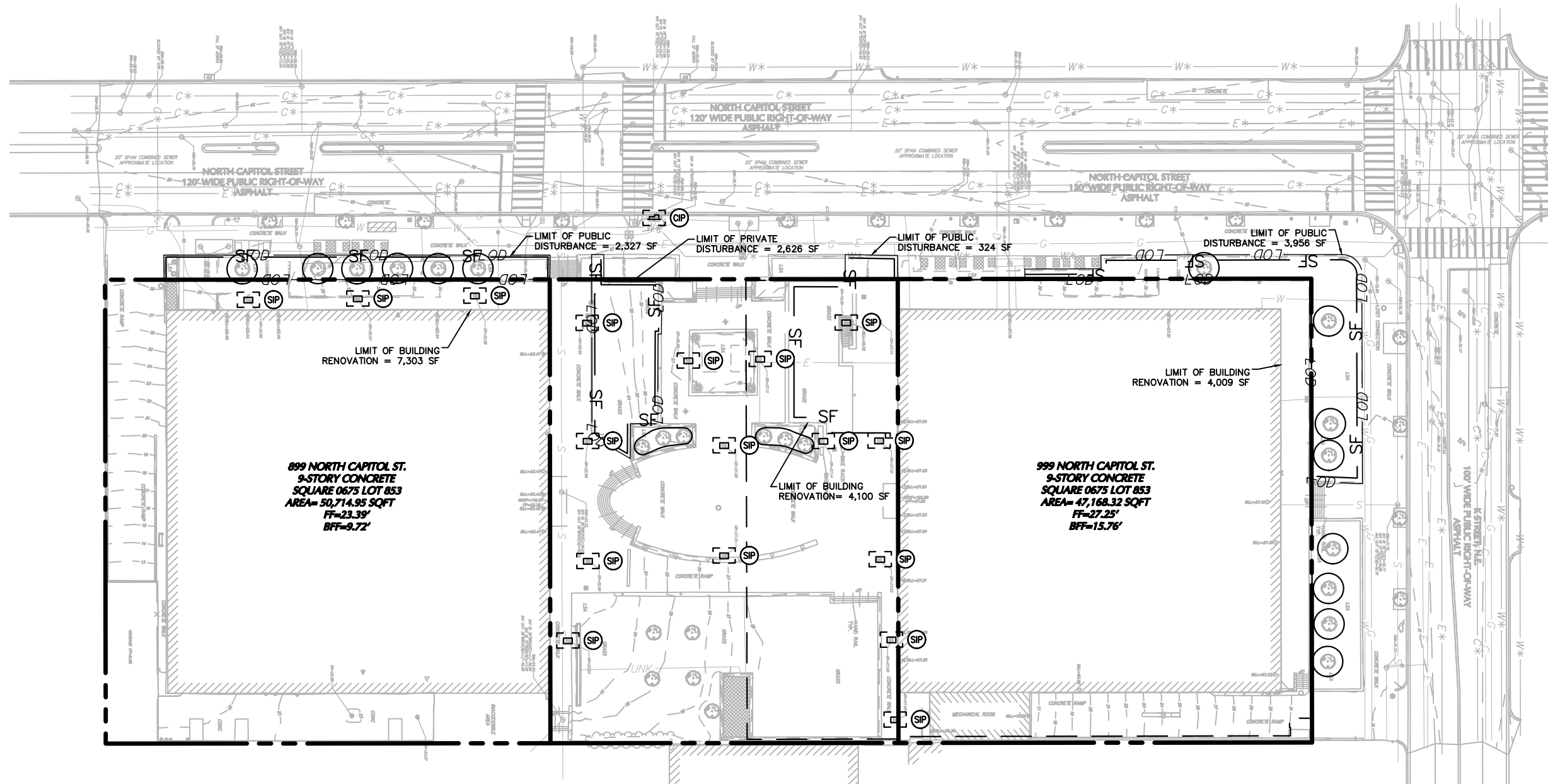
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED LIMIT OF IMPROVEMENT
- TO BE DEMOLISHED/REMOVED
- ASPHALT TO BE REMOVED
- LANDSCAPE AREA TO BE REMOVED
- CONCRETE TO BE REMOVED



899 and 999 North Capitol Street, NE
 PHASE 1
 May 25th, 2021



LANGAN Langan Engineering and Environmental Services, Inc. 1300 Wilson Boulevard, Suite 450 Arlington, VA 22209 T: 571.366.6800 F: 571.366.6801 www.langan.com	Project 899 & 999 UNION SQUARE WASHINGTON DISTRICT OF COLUMBIA	Drawing Title DEMOLITION PLAN	Project No. 270098601	Drawing No. C-04
			Date 21 MAY 2021	Sheet 4 of 8



EROSION AND SEDIMENT CONTROL PLAN NOTES:

1. SEE C-02 FOR DOEE GENERAL NOTES AND STORMWATER MANAGEMENT PLAN GOOD HOUSEKEEPING NOTES.
2. CONTACT THE DOEE INSPECTOR PRIOR TO BEGINNING WORK.
3. INSTALL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES AS THE FIRST STEP IN DEMOLITION/CONSTRUCTION.
4. ONCE ON-SITE EXCAVATION BEGINS, INSTALL MEASURES TO TREAT STORMWATER COLLECTED IN THE EXCAVATION.
5. ONCE UTILITY EXCAVATION IN THE STREET BEGINS, DISTURBANCE TO BE STABILIZED AT THE END OF EACH WORKING DAY.
6. MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN WORKING CONDITION THROUGHOUT CONSTRUCTION.
7. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR. DAMAGED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED AT THE CLOSE OF THE DAY.
8. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS DETERMINED BY THE DOEE INSPECTOR DURING CONSTRUCTION AS REQUIRED BY SITE CONDITIONS.
9. NO DISTURBED AREA WILL BE DENIED FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
10. REMOVE EROSION AND SEDIMENT CONTROL MEASURES AFTER THEIR CONTRIBUTING DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED AND APPROVAL BY THE DOEE INSPECTOR HAS BEEN OBTAINED.
11. TEMPORARY DISCHARGE PERMIT FROM DC WATER WILL BE OBTAINED.

LIMITS OF DISTURBANCE (L.O.D.) TABULATION

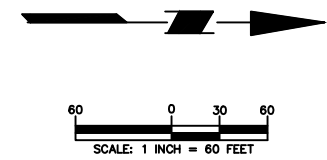
899 NORTH CAPITOL BUILDING RENOVATION	= 7,303 SF
901 NORTH CAPITOL MAJOR LAND DISTURBANCE	= 2,626 SF
BUILDING RENOVATION	= 4,110 SF
999 NORTH CAPITOL BUILDING RENOVATION	= 4,009 SF
PUBLIC RIGHT-OF-WAY MAJOR LAND DISTURBANCE	= 6,606 SF
EARTHWORK ANALYSIS CUT	= 244.52 CY
FILL	= 1,086.56 CY
NET	= 842.04 CY

EROSION AND SEDIMENT CONTROL PLAN LEGEND

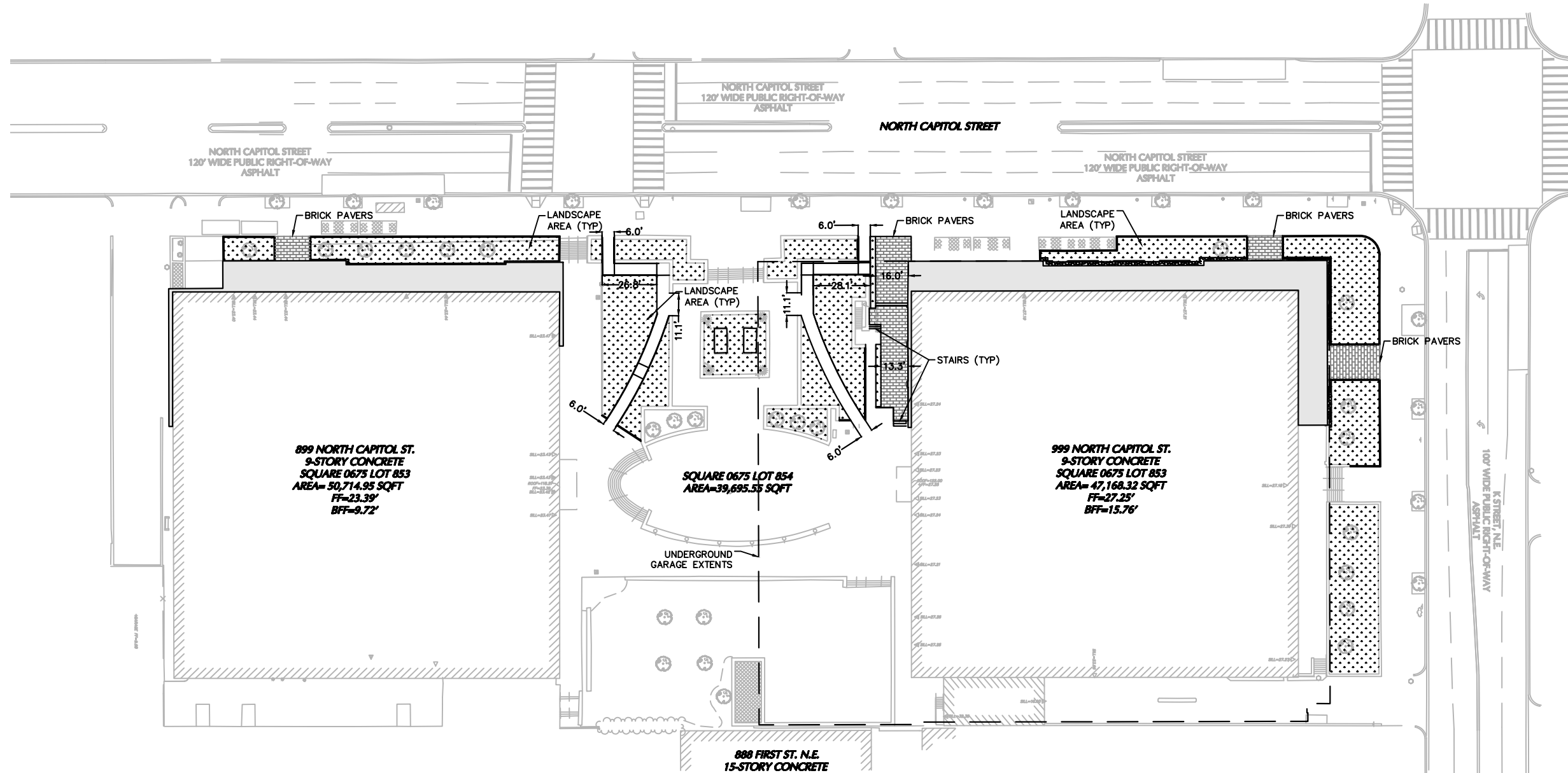
- PROPOSED LIMIT OF DISTURBANCE ———
- PROPOSED LIMIT OF BUILDING RENOVATION — LOW
- PROPOSED CONSTRUCTION ENTRANCE — [Symbol]
- TEMPORARY CONSTRUCTION FENCE — [Symbol]
- PROPOSED CURB INLET PROTECTION — [CIP Symbol]
- PROPOSED INLET PROTECTION — [SIP Symbol]
- PROPOSED SILT FENCE ON PAVEMENT — [Symbol]
- PROPOSED TREE PROTECTION FENCE — [TP Symbol]



899 and 999 North Capitol Street, NE
 PHASE 1
 May 25th, 2021



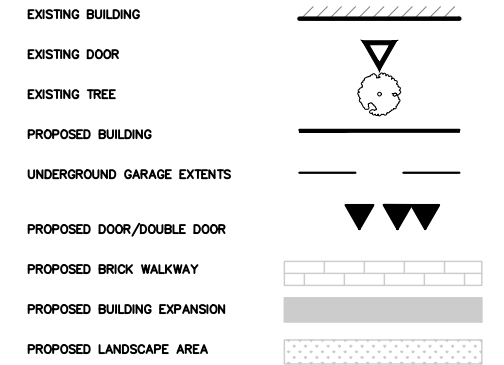
LANGAN Langan Engineering and Environmental Services, Inc. 1300 Wilson Boulevard, Suite 450 Arlington, VA 22209 T: 571.366.6800 F: 571.366.6801 www.langan.com	Project 899 & 999 UNION SQUARE WASHINGTON DISTRICT OF COLUMBIA	Drawing Title EROSION & SEDIMENT CONTROL PLAN	Project No. 270098601	Drawing No. C-05
			Date 21 MAY 2021	Sheet 5 of 8
		Drawn By AAO	Checked By JPR	



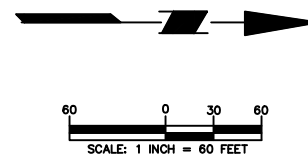
SITE PLAN NOTES:

1. SEE C-02 FOR ADDITIONAL NOTES.
2. ALL ELEVATIONS SHOWN ARE IN DATUM NAVD 88.
3. CONSTRUCTION INFORMATION AND REQUIREMENTS ARE LOCATED IN NUMEROUS PROJECT DOCUMENTS SUCH AS DRAWINGS, SPECIFICATIONS, DETAILS, NOTES, ORDINANCES, CODES, PERMITS, STANDARDS, GUIDELINES AND MANUFACTURER DOCUMENTS. MOST STRINGENT CRITERIA SHALL APPLY.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES, UNDERSTANDING AND IMPLEMENTING THE REFERENCED PROJECT STANDARDS (I.E. ASTM, AWWA, ASSHTO, ETC.), PROJECT PERMIT REQUIREMENTS, REGULATORY CODES AND REGULATIONS, AND MANUFACTURER GUIDELINES AND REQUIREMENTS.
5. UNDERGROUND UTILITIES AND INFRASTRUCTURE ARE LOCATED THROUGHOUT THE SITE AND MAY BE PRESENT IN AREAS OF PROPOSED WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND LOCATING UNDERGROUND UTILITIES AND INFRASTRUCTURE PRIOR TO WORK. IF CONFLICTS WITH PROPOSED WORK ARE OBSERVED, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY FOR REVIEW. CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING ADJACENT TO EXISTING UNDERGROUND UTILITIES AND INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO THE USE OF HAND TOOLS AND SOFT DIG TECHNIQUES. DAMAGED UTILITIES AND INFRASTRUCTURE SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

SITE PLAN LEGEND



899 and 999 North Capitol Street, NE
 PHASE 1
 May 25th, 2021



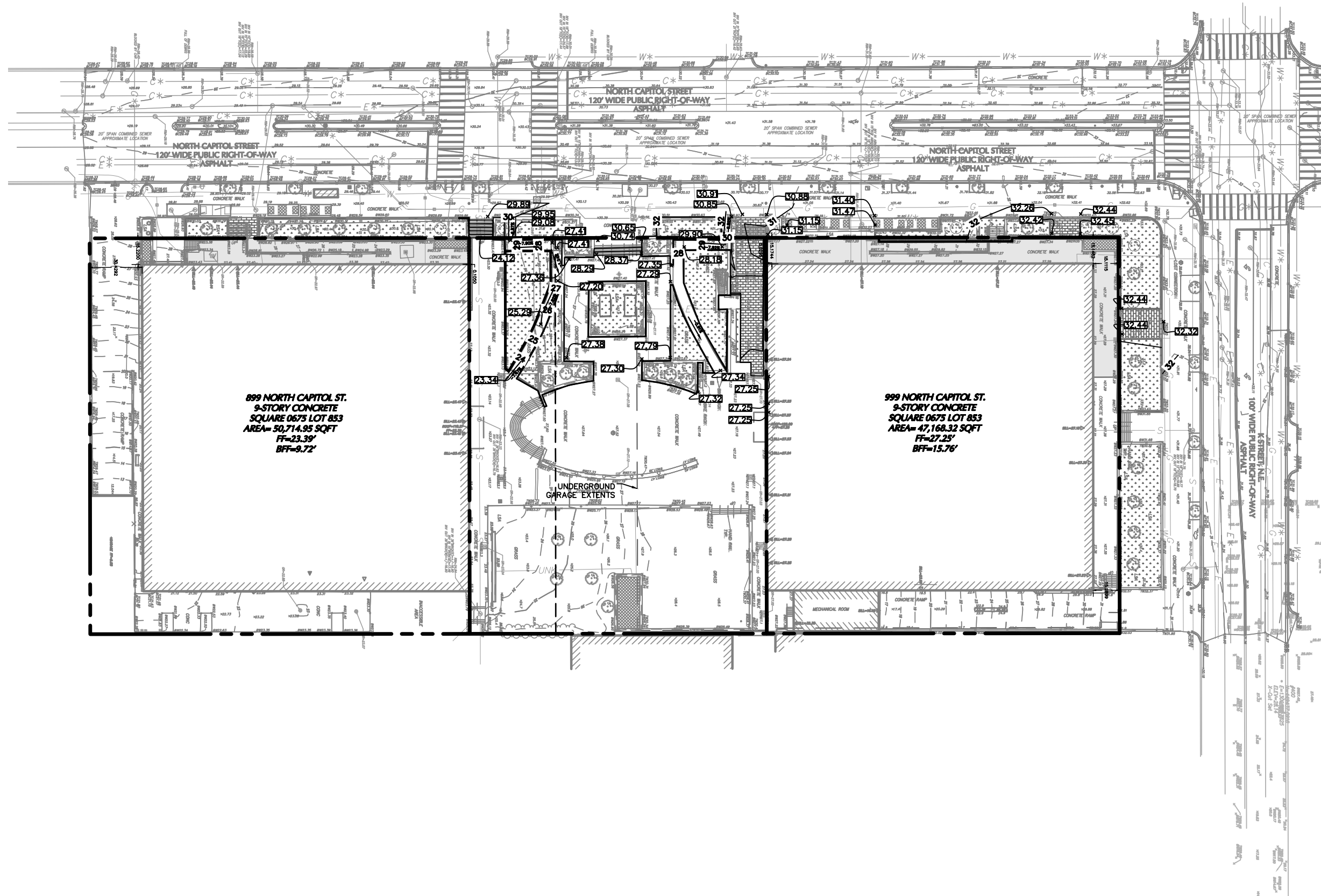
LANGAN Langan Engineering and Environmental Services, Inc. 1300 Wilson Boulevard, Suite 450 Arlington, VA 22209 T: 571.366.6800 F: 571.366.6801 www.langan.com	Project	Drawing Title	Project No.	Drawing No.
	899 & 999 UNION SQUARE WASHINGTON DISTRICT OF COLUMBIA	SITE PLAN	270098601 Date 21 MAY 2021 Drawn By AAO Checked By JPR	C-06 Sheet 6 of 8

GRADING NOTES:

1. SEE C-02 FOR ADDITIONAL NOTES.
2. ALL GRADING, DRAINAGE, AND UTILITY INSTALLATION AND/OR CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS OR LOCAL REQUIREMENTS. SHOULD A DIFFERENCE IN REQUIREMENTS OCCUR, THE STRICTER OF THE TWO REGULATIONS WILL APPLY.
3. GRADE ALL AREAS OTHER THAN PAVED GRADED AREAS AND BUILDINGS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS TO FINISH GRADE ELEVATIONS OR CONTOURS AS INDICATED ON DRAWINGS. FINISHED SUBGRADE SURFACE SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK, DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATION, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
4. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC LOADING AND BE INSTALLED ACCORDINGLY.
5. SITE GRADING SHALL NOT PROCEED UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
6. CONTRACTOR SHALL REVIEW ALL DRAINAGE CONNECTIONS TO MANHOLES AND CATCH BASINS AND INCREASE THE INLET BOX SIZES AS NECESSARY TO ACCOMMODATE THE PROPOSED INLET AND OUTLET PIPES.
7. ALL GRADING IS TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
8. CURB ELEVATIONS INDICATED "BC" ARE BOTTOM OF CURB ELEVATIONS, CURB ELEVATIONS INDICATED AS "TC" ARE TOP OF CURB ELEVATIONS.
9. TOP OF WALL ELEVATIONS ARE APPROXIMATE. SEE STRUCTURAL DRAWINGS FOR DETAIL.

GRADING PLAN LEGEND

- MAJOR CONTOUR
- MINOR CONTOUR
- SPOT ELEVATION



899 NORTH CAPITOL ST.
9-STORY CONCRETE
SQUARE 0675 LOT 853
AREA= 50,714.95 SQFT
FF=23.39'
BFF=9.72'

999 NORTH CAPITOL ST.
9-STORY CONCRETE
SQUARE 0675 LOT 853
AREA= 47,168.32 SQFT
FF=27.25'
BFF=15.76'

UNDERGROUND
GARAGE EXTENTS



60 0 30 60
SCALE: 1 INCH = 60 FEET



899 and 999 North Capitol Street, NE
PHASE 1
May 25th, 2021

LANGAN

Langan Engineering and
Environmental Services, Inc.
1300 Wilson Boulevard, Suite 450
Arlington, VA 22209

T: 571.366.6800 F: 571.366.6801 www.langan.com

Project

**899 & 999
UNION SQUARE**

WASHINGTON DISTRICT OF COLUMBIA

Drawing Title

**GRADING &
DRAINAGE PLAN**

Project No.

270098601

Date

21 MAY 2021

Drawn By

AAO

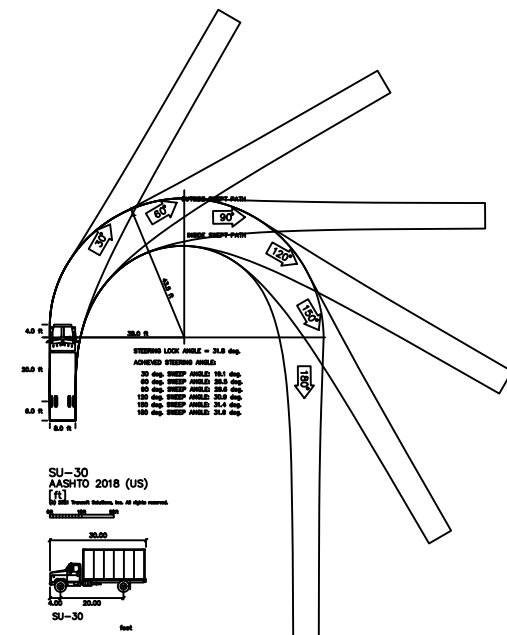
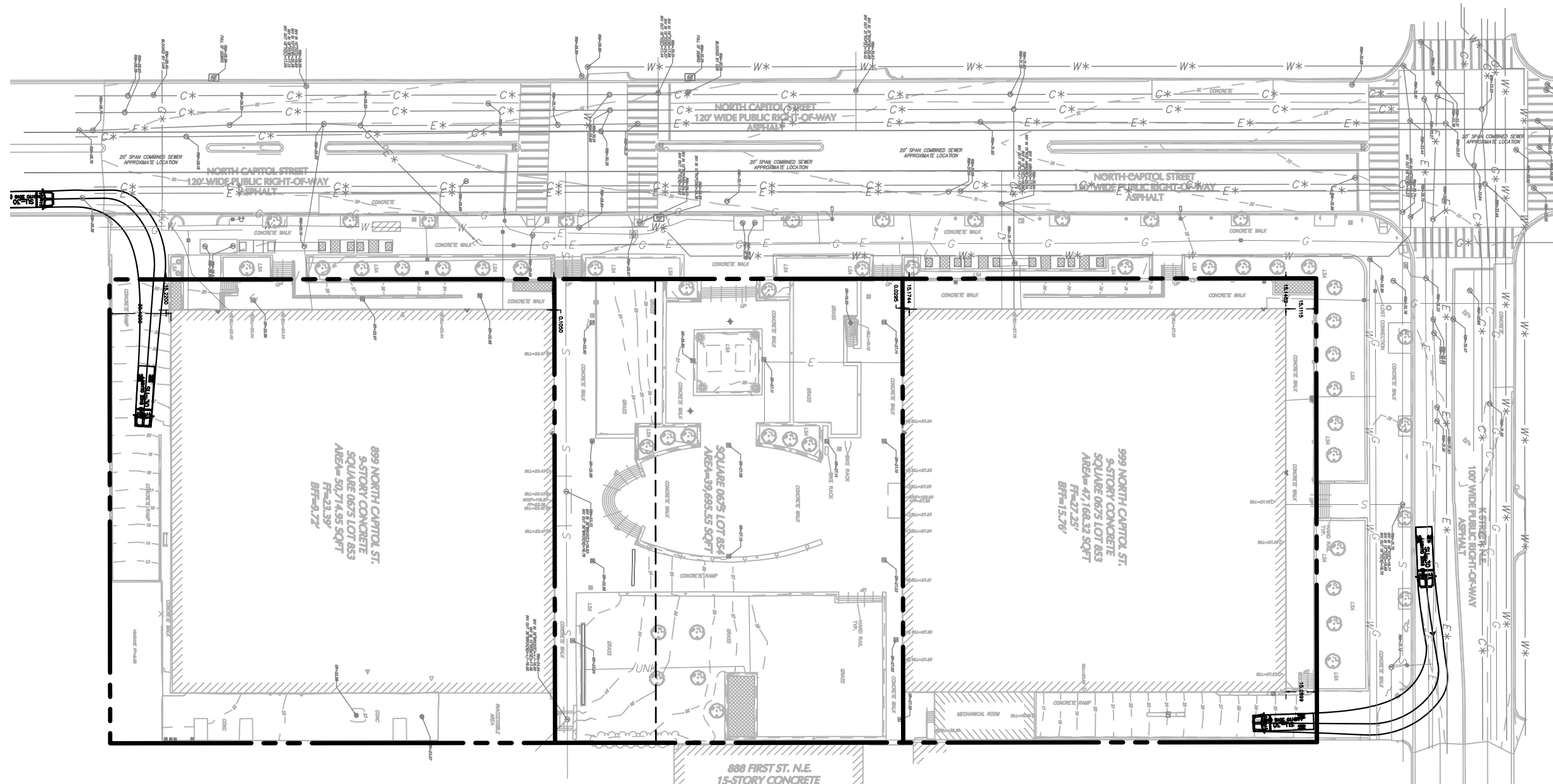
Checked By

JPR

Drawing No.

C-07

Sheet 7 of 8



<p>LANGAN Langan Engineering and Environmental Services, Inc. 1300 Wilson Boulevard, Suite 450 Arlington, VA 22209 T: 571.366.6800 F: 571.366.6801 www.langan.com</p>	Project	Drawing Title	Project No.	Drawing No.
	<p>899 & 999 UNION SQUARE</p> <p>WASHINGTON DISTRICT OF COLUMBIA</p>	<p>TRUCK TURNING DIAGRAM</p>	<p>270098601</p>	<p>C-08</p>
			Date	
			21 MAY 2021	
			Drawn By	
			AAO	
			Checked By	
			JPR	
				Sheet 8 of 8

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., January 4, 2021

Plat for Building Permit of: SQUARE 675 Lots 853 - 855

Scale: 1 inch = 50 feet

Recorded in Book A & T Page 3858 - P

Receipt No. 21-01857 Drawn by: A.S.

Furnished to: DIANA HERNDON

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."


Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application _____; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:
1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;

- 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I have ~~have not~~ (circle one) filed a subdivision application with the Office of the Surveyor;
- 4) I have ~~have not~~ (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance. The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

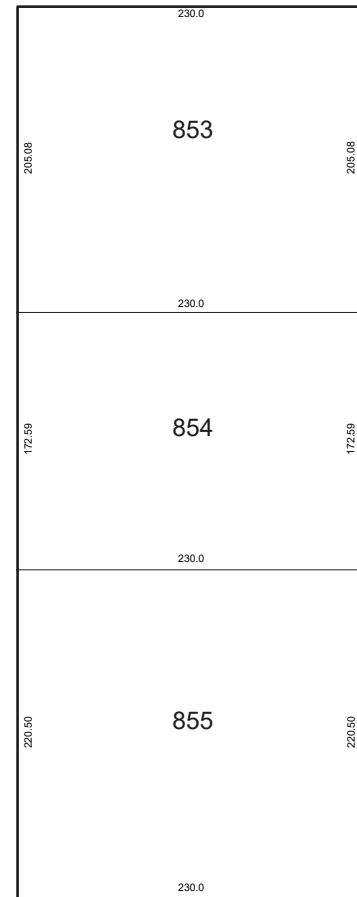
Signature: _____ Date: _____

Printed Name: _____ Relationship to Lot Owner: _____

If a registered design professional, provide license number _____ and include stamp below.

K STREET, N.E.

NORTH CAPITOL STREET, N.E.



0 10 30 60 100 200
SCALE: 1:50

SR-21-01857(2021)

901 NORTH CAPITOL STREET NE

ZONING COMMISSION
SUBMISSION
PHASE 2

APPLICANT: NETWORK REALTY PARTNERS
 ARCHITECT: HORD COPLAN MACHT
 LANDSCAPE ARCHITECT: PARKER RODRIGUEZ
 CIVIL ENGINEER: LANGAN
 LAND USE COUNSEL: GOULSTON & STORRS



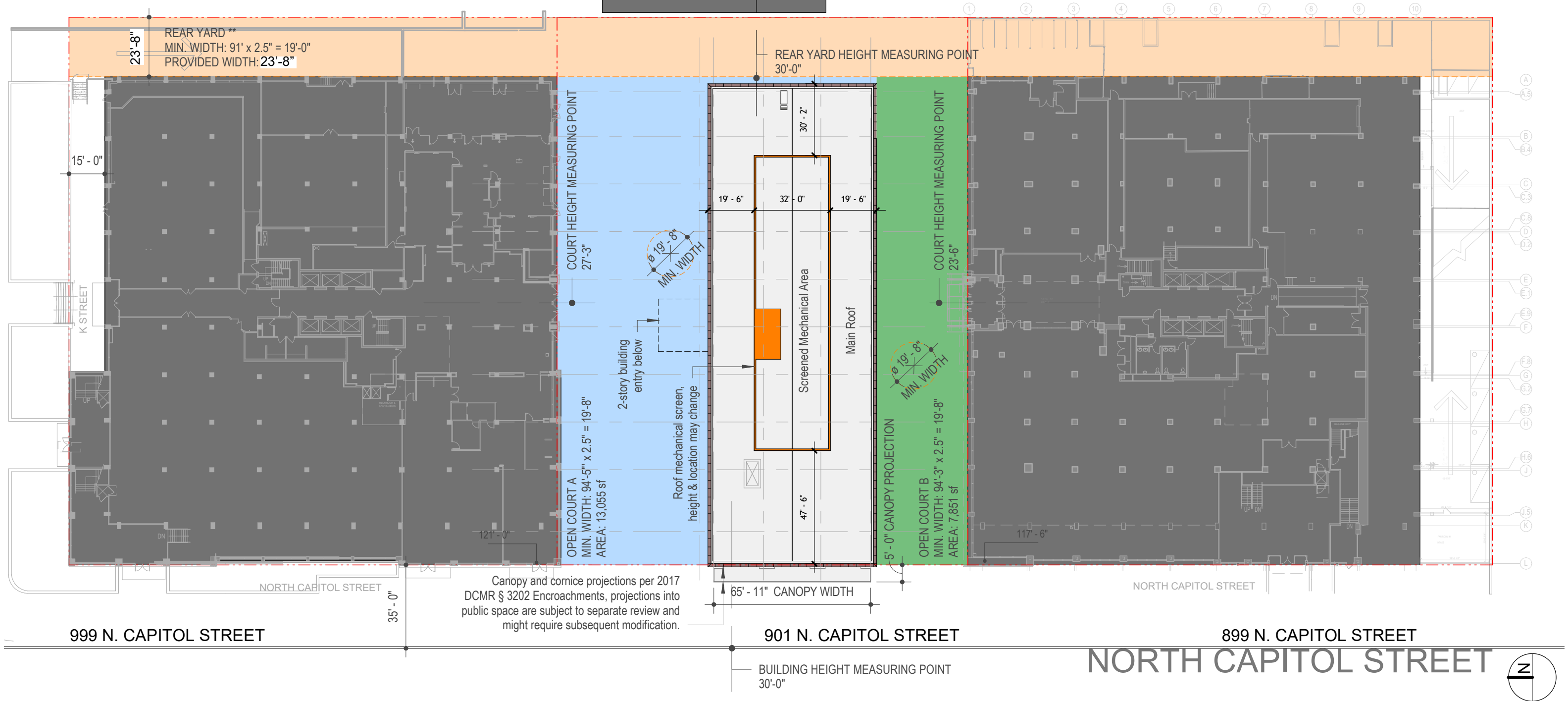
DRAWING INDEX

A01	COVER PAGE	A9	NORTH CAPITOL STREET LOOKING NORTH	A17	EAST BUILDING ELEVATION	L12	SITE CONCEPT PLAN - HARDSCAPE	L20	LANDSCAPE RENDERINGS	CS002	GENERAL NOTES
A02	ZONING ANALYSIS AND TABULATIONS	A10	NORTH CAPITOL STREET LOOKING SOUTH	A18	NORTH BUILDING ELEVATION	L13	NORTH PLAZA PLAN	L21	LANDSCAPE RENDERINGS	VT101	EXISTING CONDITIONS
A03	ZONING DIAGRAM	A11	P1 LEVEL PLAN	A19	SOUTH BUILDING ELEVATION	L14	COVERED PLAZA PLAN	L22	LANDSCAPE RENDERINGS	CD101	DEMOLITION PLAN
A04	NORTHWEST BUILDING RENDERING	A12	GROUND LEVEL PLAN	A20	MATERIAL BOARD	L15	SOUTH PLAZA PLAN	L23	LANDSCAPE RENDERINGS	CE101	EROSION & SEDIMENT CONTROL PLAN
A05	SOUTHWEST BUILDING RENDERING	A13	SECOND LEVEL PLAN	A21	BUILDING SECTION AA	L16	LANDSCAPE RENDERINGS	L24	LANDSCAPE RENDERINGS	CS101	SITE AND GRADING PLAN
A06	NORTH CAPITOL STREET VIEWSHED NORTH	A14	TYPICAL LEVEL PLAN	A22	BUILDING SECTION BB	L17	LANDSCAPE RENDERINGS	L25	LANDSCAPE RENDERINGS	CU101	UTILITY PLAN
A07	NORTH CAPITOL STREET VIEWSHED SOUTH	A15	ROOF PLAN	L10	SITE CIRCULATION PLAN	L18	LANDSCAPE RENDERINGS	L26	LANDSCAPE RENDERINGS		
A08	NORTH CAPITOL STREET STREET WALL	A16	WEST BUILDING ELEVATION	L11	SITE CONCEPT PLAN	L19	LANDSCAPE RENDERINGS	CS001	COVER SHEET		

ZONING ANALYSIS

SEE SHEETS 5A AND 5B FOR COMBINED ZONING ANALYSIS BY PHASE.

EXISTING BUILDING ON ADJACENT PROPERTY





901 NORTH CAPITOL STREET NE ZONING COMMISSION SUBMISSION PHASE 2 : MAY 25, 2021

NORTHWEST BUILDING RENDERING : A04



901 NORTH CAPITOL STREET NE ZONING COMMISSION SUBMISSION PHASE 2 : MAY 25, 2021

SOUTHWEST BUILDING RENDERING : A05





901 NORTH CAPITOL STREET NE ZONING COMMISSION SUBMISSION PHASE 2 : MAY 25, 2021

NORTH CAPITOL STREET VIEWSHED SOUTH : A07

